





MILESTONE PHASE 1 EXISTING BUILDING INSPECTION REPORT STRUCTURAL SUMMARY

6500 47th Street North, Unit 7, Pinellas Park, FL 33781

INSPECTION COMMENCED

Date: 05/12/2023

INSPECTION COMPLETED

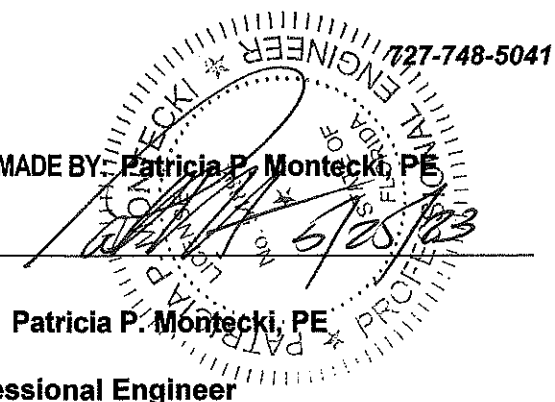
Date: 05/12/2023

INSPECTION MADE BY: Patricia P. Montecki, PE

SIGNATURE: _____

PRINT NAME: Patricia P. Montecki, PE

TITLE: Professional Engineer



DESCRIPTION OF PROJECT

- A. Name: Town Shores of Gulfport #201, Inc. – Barclay House
- B. Street Address: 3010 59th Street South
- C. Legal Description: TOWN SHORES OF GULFPORT NO. 201 CONDO BARCLAY HSE
- D. Owner's Name: Town Shores of Gulfport #201, Inc. – Barclay House
- E. Owner's Mailing Address:
3010 59th Street South, Gulfport, FL 33707
- F. Folio Number of Property on which Building is Located: 32-31-16-91592-000-XXXX
- G. Building Code Occupancy Classification: R-2 Residential more than 2 units
- H. Present Use: Residential Condominium

General Description: The building is a masonry, steel and cast-in-place concrete structure situated on a deep foundation system utilizing pilings. The elevated framing uses open web joists, a 2" form deck with a concrete topping. The joist bear on masonry walls that form the party walls between the individual units. The ground floor has a foundation supported concrete slab with supplementary interior pilings. There are a total of 41 Residential Units plus a Laundry / Utility section. Upper floors are served by a centrally located elevator along with interior stairs with a steel pan system. Additionally, there are staircases at each end of the building which have been converted to an open riser configuration. Based on information provided by Pinellas County Property Appraiser's Office, the subject building was constructed circa 1971.

- I. Number of Stories: Three

CONFIGURATION OF BUILDING COMPONENTS

Masonry Load Bearing Wall Components

- **Concrete Masonry Units: Good Condition**
- **Reinforced Concrete Tie Columns: Good Condition**
- **Reinforced Concrete Tie Beams: Good Condition**
- **Lintels: Good Condition**
- **Other Type Bond Beams - NONE**
- **Masonry Finishes – Exterior Paint: Good Condition**
- **Stucco - Covering Concrete Masonry Units, Tie Beams and Columns: Good Condition**
- **Paint Only - Walkways and Stairs: Good Condition**

Walkways

- **Form poured – Cantilevered Slabs: Serviceable Condition**
- **Guardrails: EXTRUDED ALUMINUM - Good Condition**
- **Post Pocket Fractures: NONE OBSERVED - Good Condition**
- **Slab Fractures: NONE OBSERVED**
- **Expansion Joints: Sealant is in serviceable condition**

Stairs

- **Steel Components: Good Condition**
- **Precast Concrete Treads: Good Condition**
- **Landing: Good Condition**
- **Guardrails: Good Condition**

Non-Habitable Areas

- **Walkways: Serviceable Condition**
- **Halls: Good Condition**
- **Laundry Area: Good Condition**
- **Trash Room: Good Condition**
- **Storage Area – 1st Floor: Good Condition**

SUBSTANTIAL STRUCTURAL DETERIORATION EVALUATION

General Structural Alignment Issues

- **NO ALIGNMENT ISSUES OBSERVED**

Components Showing Substantial Structural Deterioration

- **NO SUBSTANTIAL STRUCTURAL ISSUES OBSERVED**

NOT SUBSTANTIAL STRUCTURAL DETERIORATION EVALUATION

STRUCTURAL CRACKS

- **NO STRUCTURAL CRACKS OBSERVED**

SPALLING OF CONCRETE

- **Beams: NO VISIBLE SPALLING OBSERVED**
- **Columns: NO VISIBLE SPALLING OBSERVED**
- **Walkways: NO VISIBLE SPALLING OBSERVED**

REBAR CORROSION OBSERVED

- **NO VISIBLE REBAR CORROSION OBSERVED**

EXPANSION JOINTS

- **SEALANT IS IN SERVICEABLE CONDITION**
 - **Sealant adhesion failure**
 - **Sealant cohesion failure**
 - **Minor Damage to adjacent concrete**

COMPLETED REPAIRS AS OF 05/16/2023
Non-Substantial Structural Deterioration

INSPECTION DATES: 4/6, 4/7 & 4/10/23 BUILDING: Town Shores of Gulfport – Barclay

ITEM #	UNIT #	LOCATION FRONT, REAR or END	DESCRIPTION REPAIRS COMPLETED
1	101	Rear	#1 (a) Disbonded stucco above rear window – left side. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
2	105	Rear	#1 (a) Disbonded stucco above rear window – center. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
3	105/106	Rear	#1 (a) Disbonded stucco located on the wall between Apts 105/106. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
4	106	Rear	#1 (a) Disbonded stucco on lower right side of rear door near the A/C unit. <i>Removed stucco and discovered improper mortar fill inside the block cavity. Replaced with high strength repair mortar.</i>
5	107	Rear	#1 (a) Disbonded stucco above rear window – left side. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
6	Laundry Room	Rear	#7 Inspect pipes penetrating wall above window that show signs of leakage. <i>Fabricated and installed rain shroud to waterproof existing pipes protruding from the wall.</i>
7	109	Rear	#1 (a) Disbonded stucco, no cracks above rear window – left side. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
8	110	Rear	#1 (a) Disbonded stucco above rear door and above window – left side. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
9	114	Rear	#7 Fractured windowsill – horizontal crack from center extending to left end by door. <i>Removed fractured sill, rust-treated rebar and rebuilt with high strength concrete with integral rust inhibitors.</i>
10	115	Rear	#1 (a) Disbonded stucco next to rear bathroom window – left side. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
11	115	Rear	#1 (a) Two vertical cracks near downspout. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
12	115	Rear	#7 Fractured windowsill – center and horizontal crack at right end by door. <i>Removed fractured sill, rust-treated rebar and rebuilt with high strength concrete with integral rust inhibitors.</i>
13	115	End – West Side	#7 Multiple cracks in the stone façade, previous repairs by others. U shaped wall surface mount conduit.

			<i>Caulk sealed the fasteners and top edge of the surface mount fiber conduit located on the end wall. Suggest resealing hairline cracks – remove previous caulk repairs.</i>
14	115	End – West Side	#1 (b) Multiple areas on the lower section of the wall sound hollow. <i>Removed stucco surrounding surface spall caused by rebar installed too close to the edge. Cleaned and rust treated the rebar. Coated with high strength repair mortar and replaced texture.</i>
15	115	End – West Side	#7 Multiple hairline cracks under window. <i>Located hairline cracks in stucco in and around storm shutters. Caulk-sealed mounts of the storm shutters.</i>
16	115	Front Corner	#1 (a) Small spall in lower section of wall at front corner. <i>Exploratory removal of stucco. No significant structural deterioration noted at this time. Stucco replaced.</i>
25	115	Front Corner	#1(a) Corner of the walkway 115 ceiling/215 floor – disbonded stucco – post and corner slab are solid. <i>Fill and seal railing post. Repaired disbonded ceiling area on underside of walkway corner.</i>
44	01 Stack Staircase	Front – East End	#7 Mid-level Landing 2-3 Level – Form deck ends beginning to deteriorate. <i>Fabricated custom flashing to protect end of form deck. Created small puddle drain to eliminate ponding water.</i>

**INSPECTION DATA COLLECTION SHEET
TYPICAL CONDITIONS AND ACTIONS**

Condition Observed	Recommended Action
<p align="center">#1 Spalled stucco covering a structural member</p>	<p>Chip open the spalled area to determine the extent of damage</p> <ul style="list-style-type: none"> a) No rebar involved – make necessary repair b) Rusted rebar – remediate per approved protocol
<p align="center">#2 Existing Expansion Joint</p>	<p>Applies when existing sealant shows adhesive or Cohesive failure, and adjacent concrete is sound</p> <ul style="list-style-type: none"> • Replace sealant
<p align="center">#3 Existing Expansion Joint + Concrete damage</p>	<p>Chip out damaged concrete and rebuild the detail</p> <ul style="list-style-type: none"> • Insert foam panel as temporary form and sealant • Pour concrete to rebuild the detail • Once set, remove part of the foam panel, and install new sealant
<p align="center">#4 Disbonded grout top coat – no cracking</p>	<p>If grout coat provides positive drainage – no action may be required</p>
<p align="center">#5 Disbonded grout top coat with cracking</p>	<ul style="list-style-type: none"> a) Hairline cracks with a random path – stabilize with gravity feed epoxy b) Cracks following a straight line - no leakage - stabilize with gravity feed epoxy c) Larger cracks or fractured material – Remove deteriorated material and construct an expansion joint
<p align="center">#6 Hollow spall in a filled block cavity</p>	<p>Chip open the spalled area to determine the extent of damage</p> <p>Make necessary repair to remediate per approved protocol</p>
<p align="center">#7 Miscellaneous Repair Item</p>	<ul style="list-style-type: none"> a) Miscellaneous non-structural repair b) Rust on metal component – rust treat and paint c) Resecure edge component – approved protocol
<p align="center">#8 Loose Railing Post</p>	<ul style="list-style-type: none"> a) Loose but fill is sound – Stabilize with epoxy b) Loose with unsound fill – Clean out loose material – fill the pocket with high strength repair mortar c) Loose with fractured slab – Repair with concrete repair protocol
<p align="center">#9 Disbonded Stucco</p>	<p>Minor disbonded stucco areas noted. No repairs are needed at this time. Periodically check areas for any changes.</p>

INSPECTION DATA COLLECTION SHEET

Non-Substantial Structural Deterioration & Future Maintenance Items

DATES: 4/6, 4/7 & 4/10/23 BUILDING: Town Shores of Gulfport – Barclay

Listed below are areas noted during the pre-inspection phase, which do not require repairs at this time. It is suggested to use this data sheet as a reference to periodically monitor the areas for any relevant changes.

ITEM #	UNIT #	LOCATION FRONT, REAR or END	<i>OBSERVATIONS and COMMENTS FUTURE REMEDIAL or PREVENTATIVE REPAIR</i>
19	101	Front	#9 Minor disbonded stucco - left of front door between fire alarm and window – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
20	104	Front	#9 Minor disbonded stucco on wall under window – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
23	111	Front	#9 Minor disbonded stucco near left corner of window, from right side of door – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
24	115	Front	#9 Minor disbonded stucco right side of window, from right side of door – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
26	201	Front	#9 Minor disbonded stucco on wall – right side of window – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
27	201/ 202	Front	#8(a) Post pocket between Apt 201/202 is slightly loose – Suggest monitoring for any movement in future. No repairs needed at this time.
28	202	Front	#7(c) Hairline cracks on edge by Apt 202, non-structural.
29	206	Front	#7(c) Hairline cracks on edge by Apt 206, non-structural.
30	207	Front	#7(c) Hairline cracks on edge by Apt 207, non-structural.
31	Elevator/ Storage Room	Front	#9 Accent bands on each side of the front façade sound disbonded. Investigate overhang – may need expansion joints on each side where it connects to walkway.
32	211	Front	#9 Minor disbonded stucco above the front door above the window – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
33	211	Front	#7(c) Hairline cracks on edge by Apt 211, non-structural.
34	214	Front	#9 Minor disbonded stucco on wall - right side of door by Apt 214 – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
35	214	Front	#7(c) Hairline cracks on edge by Apt 214, non-structural.
36	215	Front	#9 Minor disbonded stucco on wall – lower left side of door by Apt 215 – no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
37	302	Front	#8(a) Post pocket by Apt 302 is slightly loose – Suggest monitoring for any movement in future. No repairs needed at this time.

38	311	Front	#9 Minor disbonded stucco on wall - above right side of window - no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
39	311	Front	#9 Minor disbonded stucco on wall - above center of window - no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
40	311	Front	#9 Minor disbonded stucco on wall - above right side of outside light - no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
41	01 Stack Stairwell Structure	Front - East End (Right Side)	#7(b) Exterior Stairwell - exposed rebar ends on the 2 nd floor level. Rust treat and seal to prevent damage to bond beam.
42	01 Stack Stairwell Structure	Front - East End (Left Side)	#7(a) Block mortar has a few areas where the mortar joints need to be caulked and sealed.
43	01 Stack Staircase	Front - East End	#7(b) Miscellaneous minor rust treatment is needed for metal components of the staircases - stringers, trim strips, etc. 1-2 and 2-3 Floor levels.
44	01 Stack Staircase	Front - East End	#7(a) Recommend adding custom flashing to provide weatherproofing to the mid-level landing metal form deck ends. Needed at the 1-2 levels (Installed at 2-3 level).
45	15 Stack Stairwell	Front - West End	#9 Minor disbonded stucco on the 1 st floor entrance to stairwell - right side - no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
46	15 Stack Stairwell Structure	Front - West End (Right Side)	#7(a) Previous repair on 2 nd Floor bond beam - sounds solid. On the interior of the stairwell the mortar has separated from the block - need to caulk and seal the joints.
47	15 Stack Stairwell Structure	Front - West End (Left Side)	Previous repair on 2 nd Floor bond beam - sounds solid Observation only
48	15 Stack Stairwell Structure	Front - West End	#9 Minor disbonded stucco on the 3 rd floor entrance to stairwell - left side - no cracks. Suggest monitoring for any movement in future. No repairs needed at this time.
49	15 Stack Staircase	Front - West End	#7(b) 1 st - 2 nd Floor Mid Landing - Rear side of C channel is rusted where it attaches to wall. Front of C channel is rusted.
50	15 Stack Staircase	Front - West End	#7(b) Miscellaneous minor rust treatment is needed for metal components of the staircases - stringers, trim strips, etc. 1-2 and 2-3 Floor levels.
51	15 Stack Staircase	Front - West End	#7(a) Recommend adding custom flashing to provide weatherproofing to the mid-level landing metal form deck ends. Needed at the 1-2 and 2-3 levels.

**INSPECTION DATA COLLECTION SHEET
TYPICAL CONDITIONS AND ACTIONS**

Condition Observed	Recommended Action
<p align="center">#1 Spalled stucco covering a structural member</p>	<p>Chip open the spalled area to determine the extent of damage</p> <ul style="list-style-type: none"> a) No rebar involved – make necessary repair b) Rusted rebar – remediate per approved protocol – may require building permit
<p align="center">#2 Existing Expansion Joint</p>	<p>Applies when existing sealant shows adhesive or Cohesive failure, and adjacent concrete is sound</p> <ul style="list-style-type: none"> • Replace sealant
<p align="center">#3 Existing Expansion Joint + Concrete damage</p>	<p>Chip out damaged concrete and rebuild the detail</p> <ul style="list-style-type: none"> • Insert foam panel as temporary form and sealant • Pour concrete to rebuild the detail • Once set, remove part of the foam panel, and install new sealant
<p align="center">#4 Disbonded grout top coat – no cracking</p>	<p>If grout coat provides positive drainage – no action may be required</p>
<p align="center">#5 Disbonded grout top coat with cracking</p>	<ul style="list-style-type: none"> a) Hairline cracks with a random path – stabilize with gravity feed epoxy b) Cracks following a straight line - no leakage - stabilize with gravity feed epoxy c) Larger cracks or fractured material – Remove deteriorated material and construct an expansion joint
<p align="center">#6 Hollow spall in a filled block cavity</p>	<p>Chip open the spalled area to determine the extent of damage</p> <p>Make necessary repair to remediate per approved protocol</p>
<p align="center">#7 Misc Repair Item</p>	<ul style="list-style-type: none"> a) Miscellaneous non-structural repair b) Rust on metal component – rust treat and paint c) Resecure edge component – approved protocol
<p align="center">#8 Loose Railing Post</p>	<ul style="list-style-type: none"> a) Loose but fill is sound – Stabilize with epoxy b) Loose with unsound fill – clean out loose material – fill the pocket with high strength repair mortar c) Loose with fractured slab – Repair with concrete repair protocol
<p align="center">#9 Disbonded Stucco</p>	<p>Minor disbonded stucco areas noted. No repairs are needed at this time. Periodically check areas for any changes.</p>



6500 47th Street North, Unit 7, Pinellas Park, FL 33781

727-748-5041

**MILESTONE PHASE ONE INSPECTION for
TOWN SHORES OF GULFPORT #201, INC. – BARCLAY HOUSE
3010 59th Street South, Gulfport, FL**

Foreword

We have completed the Phase One required Milestone Inspection for your building pursuant to Florida Statute 553.899. The inspection consisted of visual examination of the exterior walls, walkway floors, staircases, elevator structure, and non-inhabitable common areas. Interior inspections were performed on accessible apartments, where structural support components are located.

For the purpose of this report, the following definitions will be used as it relates to the current condition of the component or system:

- **EXCELLENT** - The component or system is in new or like new condition. There is little or no evidence of deferred maintenance or needed repairs can be accomplished through routine scheduled maintenance.
- **GOOD** - The component or system is sound and performing its function. It may show signs of normal aging or wear and tear, and some remedial and routine maintenance or rehabilitation work may be necessary but does not rise to the level of substantial structural deterioration.
- **SERVICEABLE** - The component or system is performing its function at this time, but exhibits signs of deferred maintenance, evidence of previous repairs, and/or substantial structural deterioration. Repairs or replacement will be required to prevent further deterioration, prevent failure, and to extend its service life.
- **POOR** - The building / components or system has either failed or cannot be relied upon to perform its original function. This may be a result of having exceeded its typical expected useful life, exhibiting excessive deferred maintenance, advanced substantial structural deterioration or being in a state of disrepair. The present condition could contribute to or cause the deterioration of other adjoining components or systems. Significant repairs will be required.

BUILDING INFORMATION

The subject property, Town Shores of Gulfport No. 201 Inc. (Barclay House) is a residential condominium located at 3010 59th Street South, Gulfport, FL 33707

The property consists of a 3-story condominium building with 41 units. According to information provided by the Pinellas County Property Appraiser's Office, the subject property was originally constructed in 1971.

The subject building is a masonry, steel, and cast-in-place concrete structure situated on a deep foundation system (utilizes pilings). The elevated framing uses open web joists, a 2" form deck with concrete topping. The joist bear on masonry walls that form the party walls between the individual units. The ground floor has a foundation supported concrete slab with supplementary interior pilings.

The interior stairs have a steel pan system with concrete topping. The exterior staircases have precast stair treads mounted on steel stringers.

The buildings' exterior cladding consists of a direct-applied smooth sand cementitious finish over CMU and concrete. The buildings' exterior coatings and sealants are comprised of acrylic-based paint and polyurethane sealants.

The building is provided with aluminum framed windows. Some units have upgraded the windows to impact rated glazing.

Each condominium unit includes a private balcony. All of the original open balconies have been converted into enclosed sunrooms. The floor framing is identical to the interior unit framing.

The exterior walkway is a six to eight-inch-thick concrete slab that cantilevers to the front of the building.

FIELD OBSERVATIONS

Field observations were limited to visual observations of the major structure components (including the interior units and common areas) to the extent they are exposed, accessible and within view at the time of the site visit with the intent to identify any areas of "*substantial structural deterioration*" as outlined in Senate Bill 4D. This term as defined by Florida Statutes 553.899 (b) means substantial structural distress that negatively affects a building's general structural condition and integrity. The term does not include surface imperfections such as cracks, distortion, sagging, deflections, misalignment, signs of leakage, or peeling of finishes unless the licensed engineer or architect performing the phase one or phase two inspection determines that such surface imperfections are a sign of substantial structural deterioration. An evaluation of the structural elements of the building, which included a survey of the interior units and common areas are as follows:

Exterior Walls:

General Structural Condition: **Good**

- There is minor cracking in the stucco surfaces. This is mostly around wall openings.

Columns and Beams:

General Structural Condition: **Good**

- No cracking or deterioration observed

Floor System:

General Structural Condition: **Serviceable**

- Isolated cracks were observed in the finish, underside and on the edges of the walkways. These conditions are the result of corrosion of the embedded steel reinforcement (rebar) and/or insufficient concrete coverage over the rebar. This does not constitute substantial structural deterioration.

Foundation:

General Structural Condition: **Not readily accessible**

No indications of settlement or shifting of the foundation were observed. Plans indicate a deep foundation system utilizing pilings.

Balconies:

General Structural Condition: **Good**

The balconies have all been converted to interior sunrooms. No structural concerns were observed.

Railings:

General Structural Condition: **Good**

- A few of the guardrail post-pockets are loose, suggest sealing as needed to prevent water from penetrating the slab edge.

Stairs:

General Structural Condition: **Good**

- No structural Concerns were observed

Non-Habitable Areas:

- Walkways: In **Serviceable Condition**
- Halls: **Good Condition**
- Laundry Area: **Good Condition**
- Trash Room: **Good Condition**
- Storage Rooms– 1st Floor: **Good Condition**

Habitable Areas:

General Structural Condition: **Good**

- Interior walls and ceiling covered with drywall. Floors inspected for settling.

ENGINEER'S OPINIONS AND RECOMMENDATIONS

Based on the scope and limitations of this Phase I Structural Milestone Inspection, I did not observe structural concerns that rise to the level of "substantial structural deterioration." I also did not observe "unsafe" or "dangerous" conditions as defined by the Florida Building Code.

For areas which did not rise to the level of substantial deterioration, routine building maintenance includes but is not limited to the sealing of exposed cracks in the exterior stucco finish, exterior painting and caulking of the building. Latent or concealed defects or deficiencies are excluded from the scope of work for this inspection.

Our Recommendations Include:

The areas, which were not "Substantial Structural Deterioration", for which no repairs have been undertaken to date, are listed here as required by statute for future remedial or preventative repair. Latent or concealed defects or deficiencies are excluded from the scope of work for this inspection. Also listed are recommendations for ongoing maintenance monitoring.

Masonry Load Bearing Wall Components:

- **Concrete Masonry Units – Monitor for cracks**
- **Reinforced Concrete Tie Columns – Monitor for bulging surface spalls**
- **Reinforced Concrete Tie Beams – Monitor for bulging surface spalls**
- **Lintels – Above wall openings - Monitor for bulging surface spalls**
- **Masonry Finishes – Exterior Paint - Monitor for cracks**
- **Stucco - Covering Concrete Masonry Units, Monitor for cracks**

Walkways:

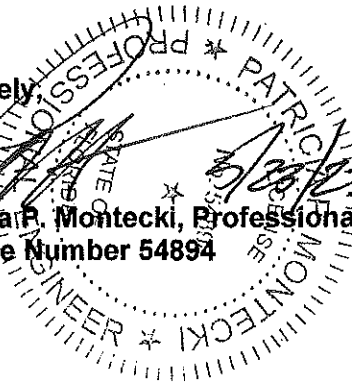
- **Form poured Cantilevered Slabs:** Investigate minor cracks and make necessary repairs
- **Guardrails:** Check to be sure all components remain secure
- **Post Pockets:** Resecure any loose pockets and reseal
- **Slab Fractures:** **NONE OBSERVED**
- **Expansion Joints:** Monitor for any signs of leakage or excessive cracks

Stairs:

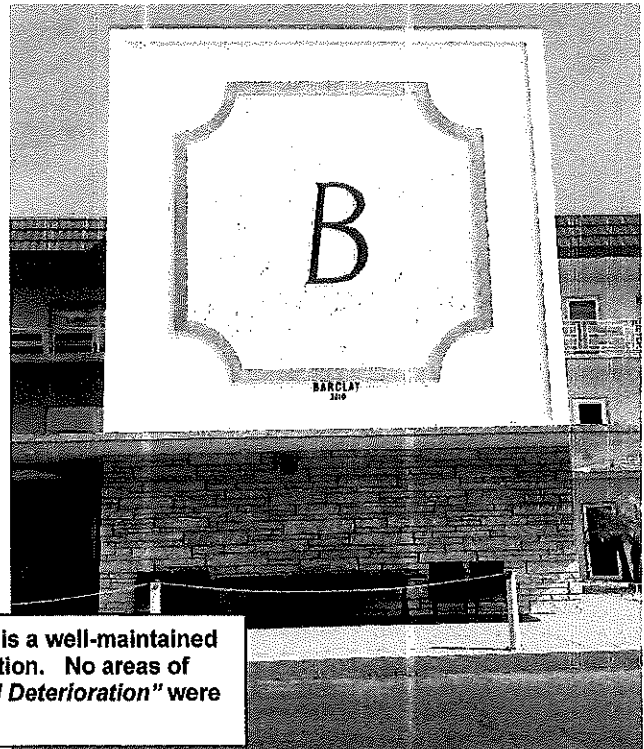
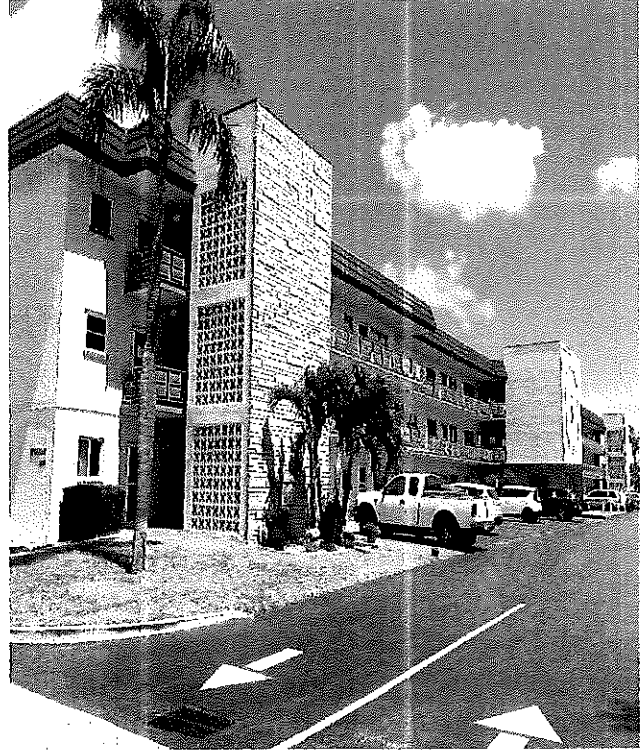
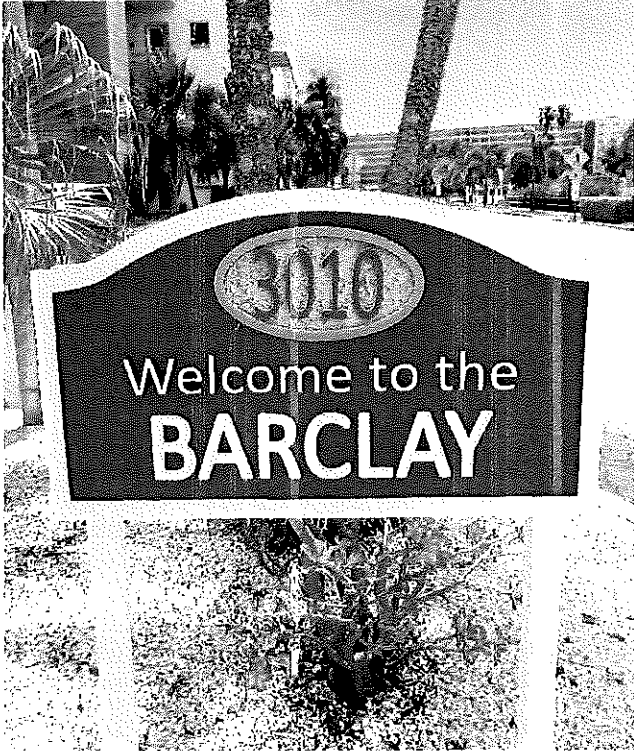
- **Steel Components:** Monitor for surface rust and repair as needed
- **Landings:** Monitor for rust and repair as needed
 - Install flashing between the end of the form deck pans and lattice block wall to protect the ends of the deck
- **Guardrails:** Monitor for loose paint or corrosion

Sincerely,


Patricia P. Montecki, Professional Engineer
License Number 54894

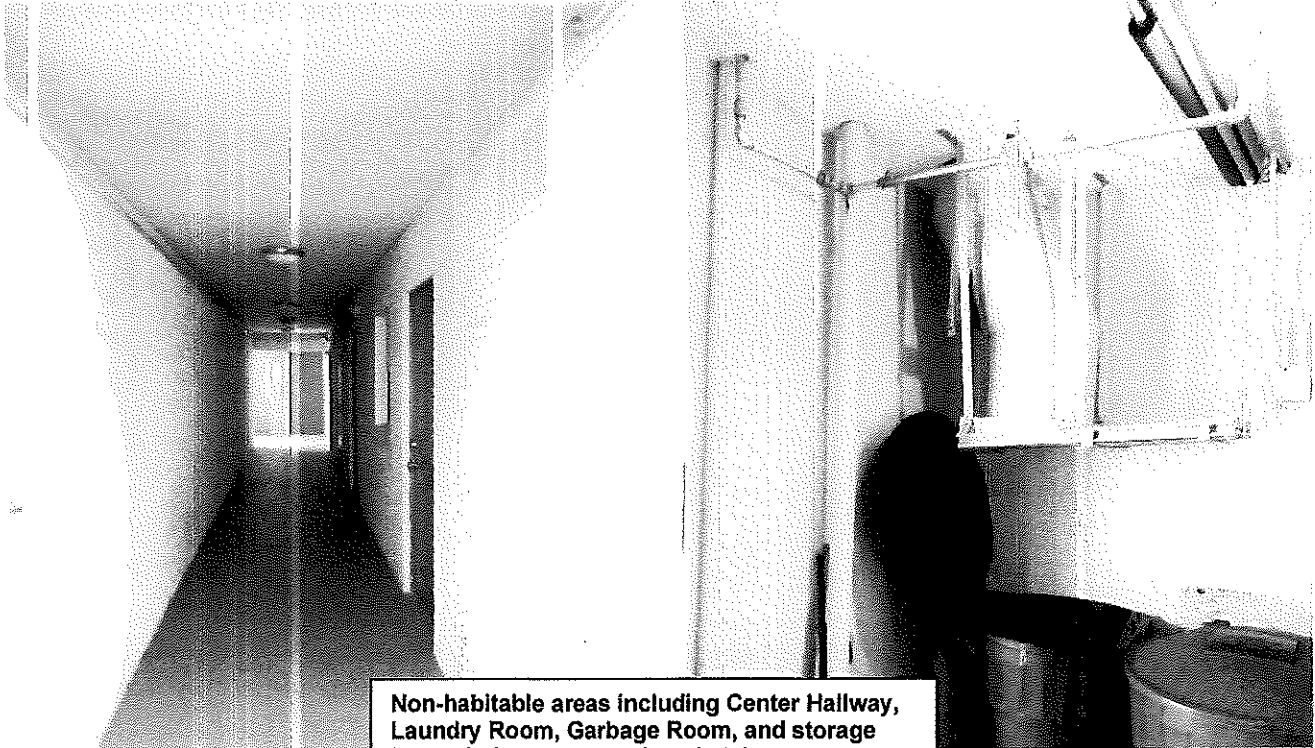


**Town Shores of Gulfport # 201, Inc. – Barclay House
Milestone Phase One**



Overall Barclay House is a well-maintained building in good condition. No areas of "Substantial Structural Deterioration" were observed.

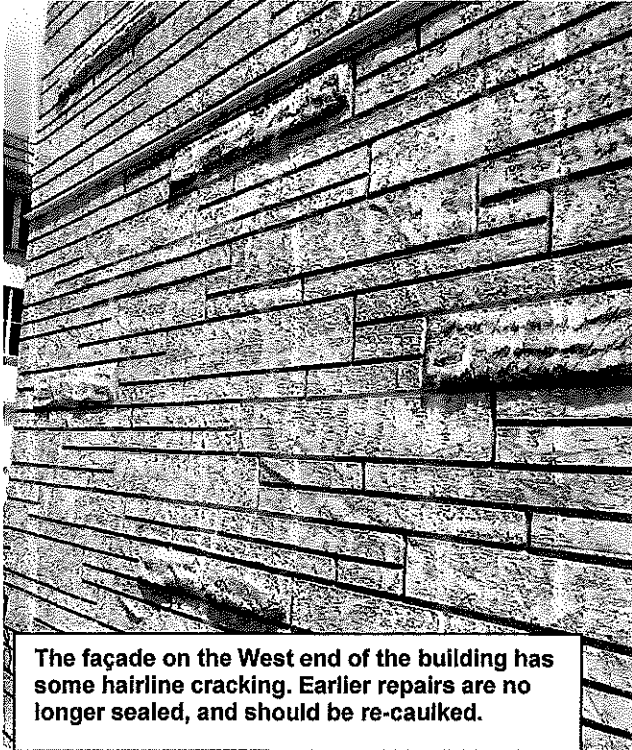
**Town Shores of Gulfport # 201, Inc. – Barclay House
Milestone Phase One**



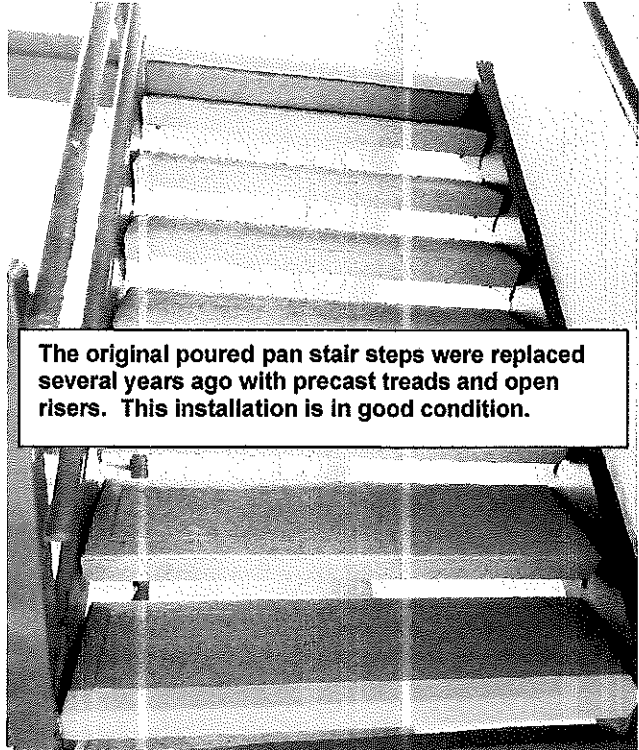
Non-habitable areas including Center Hallway, Laundry Room, Garbage Room, and storage beneath the center enclosed stairs were examined and found to be in good condition.



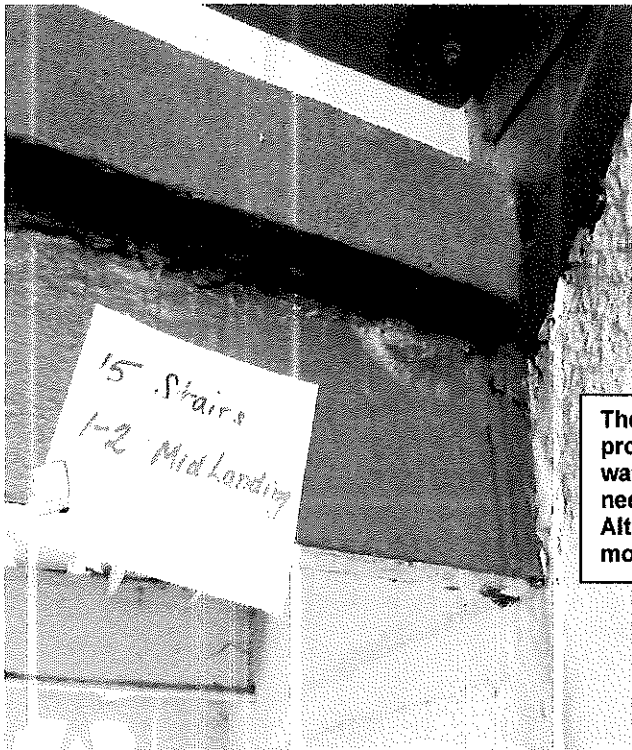
**Town Shores of Gulfport # 201, Inc. – Barclay House
Milestone Phase One**



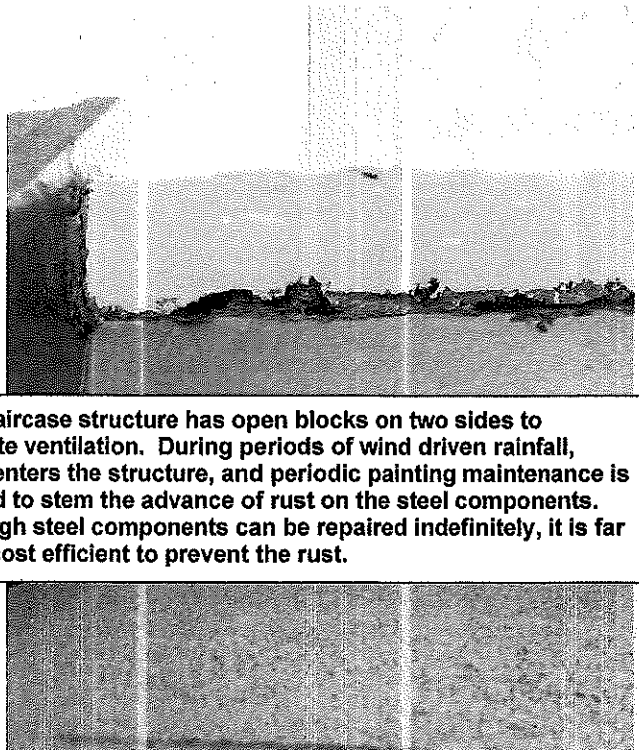
The façade on the West end of the building has some hairline cracking. Earlier repairs are no longer sealed, and should be re-caulked.



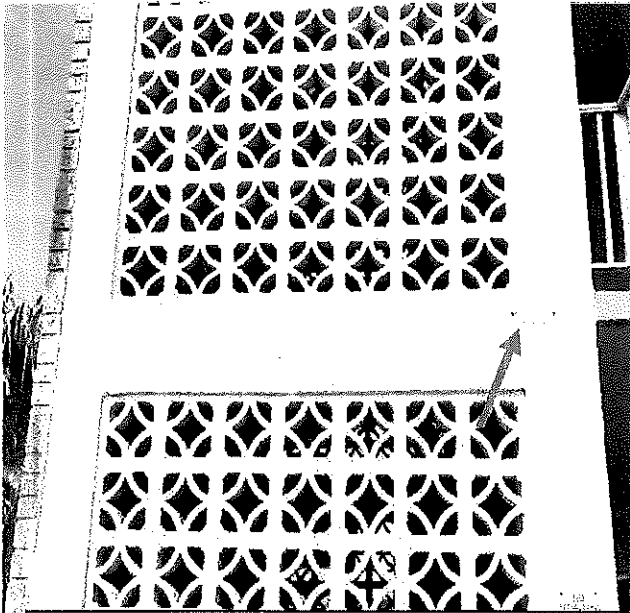
The original poured pan stair steps were replaced several years ago with precast treads and open risers. This installation is in good condition.



The staircase structure has open blocks on two sides to promote ventilation. During periods of wind driven rainfall, water enters the structure, and periodic painting maintenance is needed to stem the advance of rust on the steel components. Although steel components can be repaired indefinitely, it is far more cost efficient to prevent the rust.



**Town Shores of Gulfport # 201, Inc. – Barclay House
Milestone Phase One**



At the "01" Stack staircase, there were two rebar ends, which had popped out a little concrete because they were installed too close to the outer surface. This is a minor maintenance repair.



The posts for the railings occasionally will become loose. There are several, which may need maintenance to be sure they are firmly sealed. Adjacent edges of the slabs need to be checked for minor spalling.



Using a metallic sounding technique, there were several places where the stucco on the rear wall of the walkway was disbonded from the wall behind, but there was no indication of cracking. This is a fairly common condition, which usually is completely benign. This side of the building faces South and as such is subjected to a great deal of sun exposure. Normal expansion and contraction of the building can often result in portions of stucco becoming disbonded from the wall behind it. If cracking should develop or a section push out this will often signal corrosion or rebar or another condition. At this time however, monitoring surfaces for cracking is the recommended course of action.

